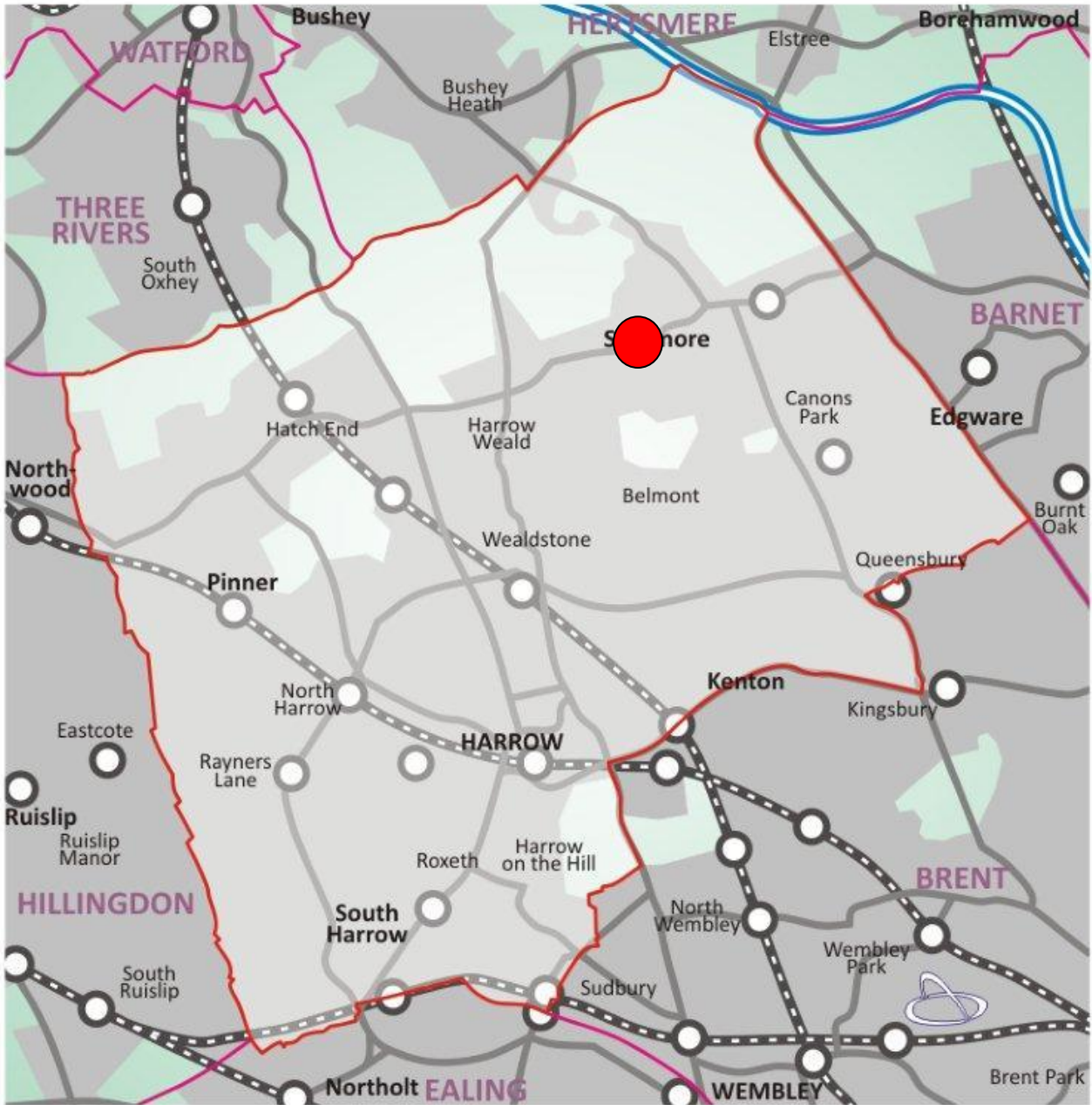


 = application site



Avondale Lodge, 8 Pynnacles Close	P/0419/19
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Avondale Lodge, 8 Pynnales Close



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LONDON BOROUGH OF HARROW

PLANNING COMMITTEE

22nd May 2019

APPLICATION NUMBER: P/0419/19
VALIDATE DATE: 8TH FEBRUARY 2019
LOCATION: AVONDALE LODGE, 8 PYNACLES CLOSE
WARD: STANMORE PARK
POSTCODE: HA7 4AF
APPLICANT: MR OLU ALABI
AGENT: ALAN COX ASSOCIATES
CASE OFFICER: NABEEL KASMANI
EXTENDED EXPIRY DATE: 24TH MAY 2019

PROPOSAL

Re-development to provide a two storey dwellinghouse with basement and habitable roofspace; parking and boundary treatment.

RECOMMENDATION

The Planning Committee is asked to:

- 1) agree the reasons for approval as set out in this report, and
- 2) grant planning permission subject to the conditions listed in Appendix 1 of this report:

REASON FOR THE RECOMMENDATIONS

The proposal would provide a high quality replacement family dwellinghouse which responds appropriately to the site, local context, height, massing and architectural appearance. Officers consider that the proposal would not have an unduly harmful impact on the amenity of neighbouring occupiers in terms of privacy/outlook; daylight, sunlight or overshadowing. Accordingly, weighing up the development plan policies and proposals, and other material considerations including comments received in response to notification and consultation as set out below, officers conclude that the proposed development is worthy of support.

INFORMATION

This application is reported to Planning Committee on the request of a Nominated Member in writing due to concerns regarding excessive scale and bulk and its impact on local character and amenity

Statutory Return Type:	(E)13 Minor Dwellings
Council Interest:	n/a
Net Additional Floorspace:	694m ²
GLA Community Infrastructure Levy (CIL):	£60,872
Local CIL requirement:	£111,101

HUMAN RIGHTS ACT

The provisions of the Human Rights Act 1998 have been taken into account in the processing of the application and the preparation of this report.

EQUALITIES

In determining this application the Council has regard to its equalities obligations including its obligations under section 149 of the Equality Act 2010.

For the purposes of this application there are no adverse equalities issues.

S17 Crime & Disorder Act

Policies 7.3.B and 7.13.B of The London Plan and Policy DM1 of the Development Management Policies Local Plan require all new developments to have regard to safety and the measures to reduce crime in the design of development proposal. It is considered that the proposed access does not adversely affect crime risk.

1.0 SITE DESCRIPTION

- 1.1 Pynacles Close is a quiet residential cul-de-sac largely characterised by detached properties with varying architectural styles, massing and forms, located off Church Road, near the junction with Uxbridge Road, Rectory Lane and Old Church Lane
- 1.2 The application site consists of a detached single and part two-storey family dwellinghouse located on a wedge shaped plot at the turning head of Pynacles Close, Stanmore. Owing to the wedge shaped plot, the front elevation of the subject dwellinghouse is set-back approximately 35m from the highway. The site levels increase by approximately 3m from the south to the north of the application site.
- 1.3 The adjoining property to the east, Woodhaven, is a part single and two-storey detached dwellinghouse that has been previously extended by virtue of single and two-storey additions. The front building line between the subject property and Woodhaven is uniform.
- 1.4 The adjoining property to the west, The Spinney, is a two-storey detached dwellinghouse located within a rectangular plot and is sited forward of the subject property. The front elevation is located broadly perpendicular to the subject property.
- 1.5 The application site is adjoined to the rear by the detached dwellinghouses of nos. 3, 4 and 5 Halsbury Close.
- 1.6 There are a number of 'Protected Trees' within the subject site and within the neighbouring boundaries. The submitted Arboricultural report suggests that to facilitate the development proposal, a total of six trees would require removal. The application site is also located within a Critical Drainage Area

2.0 PROPOSAL

- 2.1 The application proposes to re-develop the site to provide a new detached family dwellinghouse.
- 2.2 The siting of the replacement dwellinghouse would be orientated further south and the front elevation would be sited further forward than the existing dwellinghouse. The front elevation would be sited approximately 26m from the highway. The rear elevation would be sited approximately 7m from the shared boundary to the north at its closest point.
- 2.3 The proposed replacement dwellinghouse would have a rectangular form and would be two-storeys in height, with habitable accommodation within the basement and roofspace. The proposed dwellinghouse would feature a pitched/gabled roof form with a maximum height of 10.9m.

- 2.4 The application proposal also seeks to alter the levels of the site. As a result, the replacement dwellinghouse would be set approximately 600mm lower than the existing property. The ground immediately to the rear of the dwellinghouse would also be excavated to provide a level patio area from the rear elevation and would then follow a steady incline so that the levels match the existing level adjacent to the rear boundary with the adjoining properties..
- 2.5 During the course of the application, the side dormers have been omitted from the proposal.

3.0 RELEVANT PLANNING HISTORY

- 3.1 There is no relevant planning application history for the subject site

4.0 CONSULTATION

- 4.1 A total of 17 consultation letters were sent to neighbouring properties regarding this application.
- 4.2 A site notice was erected on 1st April 2019 expiring on 22nd April 2019. A press notice was advertised in the Harrow Times on 4th April 2019, expiring on 25th April 2019.
- 4.3 Adjoining Properties

Number of letters Sent (25 th February 2019)	17
Number of Responses Received	7
Number in Support	0
Number of Objections	7

- 4.4 A 14 day reconsultation was undertaken on 15th April 2019. A total of 17 adjoining properties were consulted and no further objections/comments were received.
- 4.5 A summary of the responses received are set out below with officer comments in Italics:

Summary of Comments on original consultation (including petition)
<u>Character</u> Overdevelopment of the site; detrimental to visual amenity and Conservation Area; dwarf adjacent properties; overbearing; increase in gross internal area not justified; <i>These comments have been addressed in section 6.3 of the report.</i>

Amenity

Loss of privacy; loss of light; impact on view; overlooking due to terrace and rear facing windows; side dormers and full height ground floor flank windows privacy issues; sense of enclosure;
These comments have been addressed in section 6.4 of the report

Flooding and Drainage

Disturbance of water table and natural drainage; risk of damaging existing sewerage
These comments have been addressed in section 6.6 of the report

Trees

Destruction of mature trees and shrubs on site; removal of trees would result in loss of privacy/increased prominence; no replacement planting;
These comments have been addressed in section 6.6 of the report

Other

Disturbance during construction; no topographical survey to assess ground levels; absence of accurate drawings so impossible to assess proposal properly; no lighting assessment submitted; council has insufficient information to assess merits of application;
An informative has been included requiring the Considerate Contractor Code of Practice to be applied; the topographical survey is superimposed in the submitted existing and proposed site plan. The submitted section and elevation drawings show the change in existing and proposed levels and a condition is also included. A lighting assessment is not deemed necessary for the proposal; the Local Planning Authority is satisfied that the proposal can be comprehensively appraised based on the submitted application plans and supporting documentation

4.5 Statutory and Non Statutory Consultation

4.6 The following consultations have been undertaken and a summary of the consultation responses received are set out below.

LBH Highways

No Comment

LBH Drainage

In line with our Development Management Policy 10, to make use of sustainable drainage measures to control the rate and volume of surface water runoff, to ensure separation of surface and foul water systems, make provision for storage and demonstrate arrangements for the management and maintenance of the measures used, the applicant should submit a surface water drainage strategy. No Objection subject to conditions including basement protection details.

Arboricultural Officer

Details provided are acceptable, subject to conditions

Landscape Architect

No objection subject to conditions for hard and soft landscaping

Conservation Officer

No objection as the scale and design preserves the setting of the Conservation Area.

Thames Water

No Objection

5.0 POLICIES

5.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that:

‘If regard is to be had to the Development Plan for the purpose of any determination to be made under the Planning Acts, the determination must be made in accordance with the Plan unless material considerations indicate otherwise.’

5.2 The Government has issued the National Planning Policy Framework [NPPF] which consolidates national planning policy and is a material consideration in the determination of this application.

5.3 In this instance, the Development Plan comprises The London Plan 2016 [LP] and the Local Development Framework [LDF]. The LDF comprises The Harrow Core Strategy 2012 [CS], Harrow and Wealdstone Area Action Plan 2013 [AAP], the Development Management Policies Local Plan 2013 [DMP], the Site Allocations Local Plan [SALP] 2013 and Harrow Local Area Map 2013 [LAP].

5.4 While this application has been principally considered against the adopted London Plan (2016) policies, some regard has also been given to relevant policies in the Draft London Plan (2017), as this will eventually replace the current London Plan (2016) when adopted and forms part of the development plan for the Borough. The document was published in draft form in December 2017 and is currently in the Examination in Public (EiP) stage, with the Panel’s report expected in Autumn 2019. Given that the draft Plan is in the EiP stage of the formal process it holds some weight in the determination of planning applications, although lesser weight will be given to those areas of the plan that are being challenged through the EiP process (including any potential inconsistencies with the NPPF).

5.5 A full list of all the policies used in the consideration of this application is provided as Informative 1 in Appendix 1 of this report.

6.0 ASSESSMENT

6.1 The main issues are:

- Principle of the Development
- Character and Appearance
- Residential Amenity
- Transport and Parking
- Flood Risk and Trees

6.2 Principle of Development

6.2.1 The proposal would require the demolition of the existing dwellinghouse. While there is no specific policy against the principle of the demolition of the buildings, as they are not protected, Policy 3.14 does safeguard the loss of housing. The proposal would however provide a replacement dwellinghouse with a greater floorspace and would therefore not conflict with the policy in this regard.

6.2.2 Having regard to the planning designations on the site, there are no development plan policies that specifically preclude the replacement of a residential dwelling here. Consequently, it is considered that the principle of a replacement dwellinghouse would be acceptable, subject to detailed consideration of the likely impact on the character and appearance of the surrounding area, neighbouring amenity, highway safety, flooding, trees and other matters addressed below.

6.3 Character and Appearance

6.3.1 Chapter 12 of the NPPF states that Government attaches great importance to the design of the built environment. Good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people. In determining applications, great weight should be given to outstanding or innovative designs which promote high levels of sustainability, or help raise the standard of design more generally in an area, so long as they fit in with the overall form and layout of their surroundings.

6.3.2 Good design is central to all objectives of the London Plan and is specifically promoted by the policies contained within Chapter seven, which address both general design principles and specific design issues. London Plan Policy 7.1 sets out a series of overarching design principles for development in London. Other relevant design policies in this chapter include specific design requirements relating to inclusive design; designing out crime; local character; public realm; architecture; tall and large scale buildings; and heritage assets.

6.3.3 Harrow's Core Strategy Policy CS1 seeks to protect the character of Harrow's suburbs and town centres. Policy DM1 on Achieving a High Standard of Development of the Development Management Policies Document requires all development proposals to achieve a high standard of design and layout. This assessment of the design and layout relates to the massing, bulk, scale and height of the proposed building; the appearance; context; space around buildings; the

need to retain or enhance existing landscaping; the functionality of the development; the safe, sustainable and inclusive access.

- 6.3.4 Pynnales close is predominantly a residential cul-de-sac located off Church Road, near the junction with Uxbridge Road and Old Church Lane. The western side of the street is characterised by modestly sized two-storey detached dwellinghouses on rectangular plots. The eastern side of the road features Elms Lawn Tennis Club at its southern part, Dron House, Woodhaven and the subject side. The Spinney is located to the north of the turning head. These dwellinghouses are located on larger plots and generally have a greater footprint than the neighbouring properties on the western side of the Close. Dron House in particular is a substantially large dwellinghouse. Owing to the wedge shape plot, the subject property and Woodhaven are set away from the road. The architectural style, form and massing of the dwellinghouses on Pynnales Close vary.
- 6.3.5 The existing dwellinghouse is relatively unassuming given its set-back from the road and predominant single storey height. It appears that the property has not been modernised and retains its original layout and furnishings, resulting in a somewhat tired and out-dated appearance, which does not necessarily suite the layouts of contemporary family dwellinghouses.
- 6.3.6 With regard to siting and layout, the proposed replacement dwellinghouse would be orientated further to the south-east and sited forward of the existing dwellinghouse. The proposed building would therefore be approximately 14m further forward than the existing front elevation. The Officers consider that the proposed siting and setting space of the replacement dwellinghouse would be acceptable and would not have a harmful impact on the character of appearance of the streetscene or the pattern of development within the locality.
- 6.3.7 With regard to site levels, the proposed excavation and ground engineering works would result in the proposed replacement dwellinghouse being sited approximately 600mm lower than the existing dwellinghouse. The rear garden levels would also be altered to provide a rear terrace which would be in keeping with the ground floor finished floor levels (up to some 6m beyond the original rear elevation). The ground level would then gradually increase to match existing levels adjacent with the shared boundary with the neighbouring properties at the rear. Given the varied character, pattern of development and site context within Pynnales Close, it is considered that the proposed change in levels would not have a demonstrably harmful impact on the character or appearance of the area of appearance of the streetscene.
- 6.3.8 The replacement dwellinghouse would be two-storeys in height and would feature basement and habitable accommodation within the roofslope. The proposed dwellinghouse would have a broadly rectangular form with a width of 23m and a maximum depth of 21m.

- 6.3.9 The replacement dwellinghouse would be notably larger than the existing property by virtue of the proposed scale and massing. However, the proposed replacement dwellinghouse would include a hipped roof profile with front and rear gable projections and a front projection along the western flank elevation. These design features would be consistent with the prevailing roofscape within the locality and the articulation would help to break up the mass and bulk of the replacement dwellinghouse, thereby reducing the visual dominance of the replacement dwellinghouse when viewed from the streetscene
- 6.3.10 The proposal would provide a large basement which would be entirely sunken and not visible within the streetscene. This part of the scheme would therefore not have a detrimental impact on the character and appearance of the surrounding area.
- 6.3.11 During the course of the application, the side dormers and one rear dormer have been omitted. The proposed dormer within the rear elevation would appear visually contained with the roofslope. Officers consider that the proposed amendments would be acceptable.
- 6.3.12 Officers consider that the architectural style, siting, massing and design of the replacement dwellinghouse would relate satisfactorily to the neighbouring dwellinghouses and would be consistent with the pattern of development and suburban character of the surrounding area. Furthermore, the proposed replacement dwellinghouse would not appear unduly cramped within the plot and a sense of openness and spaciousness would be retained, not too dissimilar to that which is prevalent within the immediate locality. The proposed dwellinghouse would therefore sit acceptably in the visual context and would not result in an overdevelopment of the plot.
- 6.3.13 The proposed replacement dwellinghouse would be finished in brick and render which would be consistent with the finishes on neighbouring dwellinghouses. A condition is included requiring details of sample materials to be provided prior to commencement to secure a high quality finish.
- 6.3.14 The application site is sited approximately 14.5m away from the boundary of the Stanmore Hill Conservation Area at its closest point (north-west of site). The subject site however does not adjoin the boundary of the Conservation Area. The application was referred to the Council's Conservation who has raised no objection to the proposal.
- 6.3.15 Policy DM 23 of the Development Management Policies Local Plan (2013) states that: 'Proposals that fail to make appropriate provision for hard and soft landscaping of forecourts, or which fail to contribute to streetside greenery where required, will be refused'. The Council's Landscape Architect has reviewed the proposal and has raised no objection, subject to landscape and level details.

- 6.3.16 Details of refuse storage have not been provided. However, it is considered that there is sufficient space within the side of the property to accommodate the refuse bins. The refuse bins would therefore be screened away from the streetscene and would safeguard the visual amenities of the streetscene.
- 6.3.17 For these reasons, officers consider that the proposed development would comply with the relevant policies in this regard.

6.4 Residential Amenity

Neighbouring Occupiers

- 6.4.1 A core principle of the NPPF is to always seek to secure high quality design and a good standard of amenity for all existing and future occupants of land and buildings. Policy 7.6 of the London Plan states that the design of new buildings should not cause unacceptable harm to the amenity of surrounding land and buildings, particularly residential buildings in relation to privacy, overshadowing, wind and microclimate.
- 6.4.2 Harrow Local Plan Policy DM1 undertakes to assess privacy and amenity considerations having regard to, among other things, the prevailing character of amenity and the need to make effective use of land; the relationship between buildings and site boundaries; and the visual impact when viewed from within the buildings and outdoor spaces.
- 6.4.3 The proposed replacement dwellinghouse would be sited further forward within the plot and would be orientated towards the south-east. By virtue of the increase footprint and massing, the proposed replacement dwellinghouse would inevitably appear more visually prominent within the streetscene and from the adjacent rear garden and patio areas of neighbouring dwellinghouses. However, an increased visual prominence does not necessarily equate to harm.
- 6.4.4 With regards to the adjoining property to the west, The Spinney, given the siting of that neighbouring dwellinghouse, the orientation to the proposed replacement dwellinghouse and the separation distance which would be provided, it is considered that the proposed replacement dwellinghouse would not have a detrimental impact on the residential amenities of that neighbouring dwellinghouse by virtue of overshadowing, loss of light or loss of outlook.
- 6.4.5 In relation to Woodhaven to the east, at its closest point, the proposed ground floor flank wall would be sited some 2m away from the shared boundary with that neighbouring dwellinghouse. However, the orientation of the dwellinghouse would skew the building line away from that shared boundary so that the rear elevation is sited approximately 9.5m away from that shared boundary. The proposed first-floor extension would be sited 4.5m away from the shared boundary at its closest point.

- 6.4.6 Nos. 3, 4 and 5 Halisbury Close adjoin the application site to the rear. The property is currently orientated towards the rear gardens of no 3. The proposed re-siting of the dwellinghouse would move the dwellinghouse more centrally within the plot and orientated towards the rear elevations of nos. 3, 4 and 5. A separation distance of 7.3m would be provided between the proposed rear elevation and the shared boundary with those adjoining dwellinghouses. At its closest point, the proposed first-floor rear elevation would be located approximately 12.5m from the shared boundaries with the respective adjoining dwellinghouses.
- 6.4.7 The proposed replacement dwellinghouse would feature a hipped roof profile, projecting gable elements, articulated elevations and set-backs between the ground floor and first-floors. These design features would reduce the massing and bulk of the replacement dwellinghouse and would appear sympathetic to design details prevalent in the locality. When taken together with the proposed siting of the replacement dwellinghouse centrally within the plot, the separation distances to be retained and the site context, officers consider that the proposed replacement dwellinghouse would not have a detrimental impact on the visual amenities of the adjoining occupiers.
- 6.4.8 There is an extensive tree cover that provides natural screening between the application site and the neighbouring boundaries, particularly those that adjoin the application site at the rear. The submitted Arboricultural report identifies that most of these trees would be preserved. As the outlook of nos. 3, 4 and 5 Halisbury Close is orientated towards the application site, the retained trees would help provide a natural screening and would continue to obscure the application site, much like the existing situation. A condition is therefore included to ensure that the trees are retained in accordance with the submitted Arboricultural Assessment.
- 6.4.9 The side dormers have been omitted during the course of the application. The proposed rear facing windows and dormer would have an overlooking and privacy impact which is commensurate with the residential character of the area. Officers do however acknowledge that the proposed floor to ceiling windows at first and second floor level could exacerbate the perception of overlooking. A condition has therefore been included to amend the size and details of window opening on the first and second floors.
- 6.4.10 The proposed replacement dwellinghouse would feature a first-floor terrace at the north-western part of the dwellinghouse. A condition is included for details of the privacy screen to be submitted prior to occupation to safeguard the residential amenities of the adjoining occupiers.
- 6.4.11 A daylight and sunlight assessment has been submitted in support of the application. The scope of the report considers the impact on the adjacent dwellinghouses; Woodhaven to the east, The Spinney to the south-west and 4 Halsbury Close to the north. The report uses the methodology and guidance in BRE report 'site layout planning for daylight and sunlight: a guide to good practice'.

- 6.4.12 The Spinney, no. 4 Halsbury Close and the furthest part of Woodhaven were analysed using the obstruction angle methodology. For all the positions tested, the obstruction angle would be comfortably below 25° and the report concluded that the development would not have a significant impact on these locations.
- 6.4.13 Loss of light to the adjacent windows of Woodhaven in the part closest to the proposed dwellinghouse were assessed using vertical sky component and annual probable sunlight hours. The changes to daylight distribution were also considered. The assessment concluded that the loss of daylight and sunlight would be small and well within the BRE guidelines for all of the windows except one secondary window under a deep overhang. The report notes that that secondary windows are not covered by the guidelines. The loss of daylight would be within the guidelines overall and there would no changes to daylight distribution within the rooms lit by the windows analysed.
- 6.4.14 Taking into account the conclusions of the submitted daylight and sunlight assessment and the officers assessment, it is considered that the proposal would not have an unduly harmful impact on the residential amenities of the adjoining occupiers in this regard.

Future Occupiers

- 6.4.15 Policy 3.5 of the London Plan (2016) sets out several criteria for achieving good quality residential development. The policy aims to ensure that developments enhance the quality of local places and create homes that reflect the minimum space standards and are fit for purposes in other respects. The Mayor's Housing SPG sets out detailed guidance on a range of matters relating to residential quality, incorporating the Secured by Design principles. Core Strategy Policy CS1K requires a high standard of residential design and layout consistent with the London Plan and associated guidance.
- 6.4.16 The proposed replacement dwellinghouse would have seven bedrooms and would meet the minimum floor areas set out within the London Plan (2016). Officers consider that the proposed replacement dwellinghouse would provide a high quality of accommodation for the future occupiers and would accord with the relevant policies in this regard.

6.5 Transport and Parking

- 6.5.1 The application was referred to the Councils Highways Officer who has raised no objection to the proposal.

6.6 Flood Risk and Trees

- 6.6.1 The application site is located within a Critical Drainage Area. The Council's Drainage Officer has reviewed the proposal and raised no objection to the proposal, subject to safeguarding conditions and basement protection details. The proposal would therefore comply with policies 5.12 and 5.13 of the London Plan (2016) and Policy and DM10 of the Development Management Policies (2013)

- 6.6.2 Policy 7.21 of the London Plan (2016) states that existing trees of value should be retained and that, wherever appropriate, additional trees should be planted in new development. Policy DM22 of the Development Management Policies (2013) resists the loss of trees of significant amenity value only where it can be demonstrated that their loss would be outweighed by the wider public benefits of the proposal.
- 6.6.3 There are 'protected trees' within the application site and the gardens of the adjoining residential dwellinghouses. A Phase II Arboricultural Impact Assessment has been submitted with the application. The report concludes that six trees would need to be removed to make way for the proposed development. The application was referred to the Council's Arboricultural Officer who has advised that the details submitted are satisfactory. Subject to conditions for a detailed site specific protection plan and method statement, officers consider that the proposal would be acceptable in this regard and would comply with the relevant policies.
- 6.6.4 The submitted Tree Protection Plan shows that the Lawson Cypress, Silver Birch, Monterey Cypress, Damson and Yew species would all be retained adjacent to the shared boundary with the neighbouring properties to the rear. Additionally, the submitted Tree Protection Plan notes the Common Ash, Hazel and English Yew would be retained adjacent to the shared boundary with Wodhaven to the east. Officers consider that the natural screening provided by the respective trees facilitates in obscuring and providing an attractive setting for the respective dwellinghouses. The retention of the trees would maintain a key characteristic of the area and the existing screening relationship between the respective properties. A condition is therefore included to this effect.

7.0 CONCLUSION AND REASONS FOR APPROVAL

- 7.1 The proposal would provide a high quality replacement family dwellinghouse which responds appropriately to the site, local context, height, massing and architectural appearance. Officers consider that the proposal would not have an unduly harmful impact on the amenity of neighbouring occupiers in terms of privacy/outlook; daylight, sunlight or overshadowing. Officers conclude that the proposed development is worthy of support.
- 7.2 For all the reasons considered above, and weighing up the development plan policies and proposals, and other material considerations including comments received in response to notification and consultation as set out above, this application is recommended for grant.

CHECKED

Interim Chief Planning Officer	Beverley Kuchar	8/5/19
Corporate Director	Paul Walker	9/5/19

APPENDIX 1: Conditions and Informatives

Conditions

1. Timing

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with the provisions of Section 91 of the Town and Country Planning Act 1990.

2. Approved Plans and documents

Save where varied by the other planning conditions comprising this planning permission, the development hereby permitted shall be carried out, completed and retained in accordance with the following approved plans and documents:

481218/01 Rev E, 481218/02, 481218/03 Rev F, 481218/04 Rev D, 481218/05 Rev D, 481218/06 Rev D, 481218/07 Rev F, 481218/08 Rev D, 481218/09 Rev B, 481218/10 Rev B, 481218/11 Rev B, Location Plan, Planning Statement (December 2018), Phase II Arboricultural Report, (23/01/2019), Daylight and Sunlight Assessment (21 March 2019),

Reason: For the avoidance of doubt and in the interests of proper planning.

3. Levels

The development hereby permitted shall not commence until details of the levels of the building(s), road(s) and footpath(s) in relation to the adjoining land and highway(s), and any other changes proposed in the levels of the site, have been submitted to, and approved by, the local planning authority.

Reason: To ensure that the works are carried out at suitable levels in relation to the highway and adjoining properties in the interests of the amenity of neighbouring residents, the appearance of the development, drainage, gradient of access and future highway improvement, in accordance with policies DM1 and DM10 of the Development Management Policies Local Plan 2013.

Details are required prior to commencement of development to ensure a satisfactory form of development.

4. Demolition and Construction Logistics Plan

No development shall take place, including any works of demolition, until a demolition and construction logistics plan has first been submitted to and agreed in writing by the Local Planning Authority. The plan shall detail the arrangements for:

- a) the parking of vehicles of site operatives and visitors;
- b) loading and unloading of plant and materials;
- c) storage of plant and materials used in construction of the development;
- d) the erection and maintenance of security hoardings including decorative displays and facilities for public viewing;
- e) wheel washing facilities; and
- f) a scheme for recycling/disposing of waste resulting from demolition and construction works.
- g) measures for the control and reduction of dust
- h) measures for the control and reduction of noise and vibration.

The demolition and construction of the development shall be carried out in accordance with the plan so agreed.

REASON: To ensure that measures are put in place to manage and reduce noise and vibration impacts during demolition and construction and to safeguard the amenity of neighbouring occupiers, in accordance with Policies 7.14 and 7.15 of the London Plan (2016) and Policy DM1 of the Development Management Policies Local Plan (2013) and to ensure that the transport network impact of demolition and construction work associated with the development is managed in accordance with Policy 6.3 of the London Plan (2016). Details are required prior to commencement of development to ensure a satisfactory form of development.

5. Surface and Foul Water Disposal

The development hereby permitted shall not be commenced until works for the disposal of surface and foul water have been submitted to, and approved in writing by, the local planning authority. The development shall be carried out in accordance with these approved details and shall thereafter be retained.

REASON: To ensure that adequate drainage facilities are provided, reduce and mitigate the effects of flood risk in accordance with policy DM10 of the Development Management Policies Local Plan 2013.

Details are required prior to commencement of development to ensure a satisfactory form of development.

6. Surface Water Attenuation

The development hereby permitted shall not be commenced until surface water attenuation and storage works have been submitted to, and approved in writing by, the local planning authority. The development shall be carried out in accordance with these approved details and shall thereafter be retained.

REASON: To prevent the increased risk of flooding, reduce and mitigate the effects of flood risk in accordance with policy DM10 of the Development Management Policies Local Plan 2013.

Details are required prior to commencement of development to ensure a satisfactory form of development.

7. Basement Protection Plan

The development hereby permitted shall not commence until a basement protection plan has been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with these approved details and shall thereafter be retained.

REASON: To prevent the increased risk of flooding, reduce and mitigate the effects of flood risk in accordance with policy DM9 and DM10 of the Development Management Policies Local Plan 2013.

8. Arboricultural Method Statement and Tree Protection Plan

The development hereby permitted shall not commence, including works of demolition, until a detailed Arboricultural Method Statement and Tree protection Plan have been submitted to and approved in writing by the Local Planning Authority. The Arboricultural Method Statement shall contain full details of the following:

- a) sequence of operations
- b) tree protection methods
- c) tree protective fencing and ground protection

REASON: The existing trees represent an important amenity feature which the Local Planning Authority considers should be protected, as required by policy DM22 of the Harrow Development Management Policies Local Plan (2013). Details are required prior to commencement of development to ensure a satisfactory form of development.

9. Materials

Notwithstanding the details shown on the approved plans, the development hereby permitted shall not proceed above podium slab level until samples of the materials to be used in the construction of the external surfaces noted below (but not limited to) have been submitted to, and approved in writing by, the local planning authority:

- a) All external appearance of the building
- b) Boundary treatment
- c) Ground treatment

The development shall be carried out in accordance with the approved details and shall thereafter be retained.

REASON: To enhance the appearance of the development and safeguard the character and appearance of the area

10. Window Glazing

Notwithstanding the details submitted, the replacement dwellinghouse hereby permitted shall not proceed above podium slab level until details of the revised window openings have on the first and second floors have been submitted to an approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details and shall thereafter be retained.

REASON: To safeguard the privacy of the occupiers of the neighbouring occupiers and to ensure that the development achieves a high standard of privacy and amenity in accordance with Policy DM1 of the Harrow Development Management Policies Local Plan (2013).

11. Window Glazing 2

Save where varied by other conditions, no window(s) / door(s), other than those shown on the approved plans, shall be installed in the flank wall(s) of the development hereby permitted without the prior permission in writing of the local planning authority.

REASON: To safeguard the residential amenities of neighbouring residents, in accordance with Policy DM1 of the Harrow Development Management Policies Local Plan (2013).

12. Landscaping 1

Notwithstanding the details shown on the approved plans, the development hereby permitted shall not proceed above podium slab level until there has been submitted to, and approved in writing, by the local planning authority, a scheme of hard and soft landscaping and boundary treatment. This shall include a landscape masterplan and details in both front and rear gardens, Soft landscape works shall include: planting plans which also detail the replacement planting along the boundary, and schedules of plants, noting species, plant sizes and proposed numbers / densities. The development shall be carried out in accordance with the approved details and shall thereafter be retained.

REASON: To safeguard the appearance and character of the area, and to enhance the appearance of the development, in accordance with policy DM23 of the Development Management Policies Local Plan 2013.

13. Landscaping 2

The development hereby approved shall not be occupied until a scheme for the on-going management, management programme of works and maintenance of all the hard and soft landscaping within the development, to include a Landscape Management Plan, including long term design objectives, management responsibilities and landscape maintenance schedules for all landscape areas, shall be submitted to, and approved in writing by, the Local Planning Authority prior to the occupation of the development or any phase of the development, whichever is the sooner, for its permitted use. The Landscape Management Plan shall be carried out in a timely manner as approved.

REASON: To safeguard the appearance and character of the area, and to enhance the appearance of the development. In accordance with Policies DM22 of the Development Management Policies (2013)

14. Landscaping 3

All planting, seeding or turfing shall be carried out in the first planting and seeding seasons following the occupation of the approved dwelling, or the completion of the development, whichever is the sooner. Any existing or new trees or shrubs which, within a period of 5 years from the completion of the development, die, are removed, or become seriously damaged or diseased, shall be replaced in the next planting season, with others of a similar size and species, unless the local authority agrees any variation in writing.

REASON: To safeguard the appearance and character of the area, and to enhance the appearance of the development, in accordance with policy DM23 of the Development Management Policies Local Plan 2013.

15. Landscaping 4

All hardsurfacing shall EITHER be constructed from porous materials, for example, gravel, permeable block paving or porous asphalt, OR provision shall be made to direct run-off water from the hard surfacing to a permeable or porous area or surface within the curtilage of the site. Please note: guidance on permeable paving has now been published by the Environment Agency on <http://www.communities.gov.uk/publications/planningandbuilding/pavingfrontgardens>

REASON: To ensure that adequate and sustainable drainage facilities are provided, and to prevent any increased risk of flooding, in accordance with policy DM10 of the Development Management Policies Local Plan 2013.

16. Fencing

No demolition or site works in connection with the development hereby permitted shall commence before:

a: the frontage

b: the boundary of the site is enclosed by a close boarded fence to a minimum height of 2 metres.

Such fencing shall remain until works and clearance have been completed, and the development is ready for occupation.

REASON: In the interests of amenity and highway safety

17. Permitted Development Rights

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any order revoking or re-enacting that order with or without modification), no development which would otherwise fall within Classes A, B, D, E and F in Part 1 of Schedule 2 to that Order shall be carried out in relation to the dwellinghouse hereby permitted without the prior written permission of the local planning authority.

REASON: To safeguard the character of the area and openness of the area by restricting the amount of site coverage and size of dwelling in relation to the size of the plot, the openness of the site and availability of amenity space; and to safeguard the amenity of neighbouring residents, in accordance with policies DM1 and DM16 of the Development Management Policies Local Plan (2013).

18. Trees Retention

No trees, shrubs or hedges within the site which are shown as being retained on the approved plans shall be felled, uprooted, wilfully damaged or destroyed, cut back in any way or removed without the prior written consent of the Local Planning Authority. Any trees, shrubs or hedges removed without such consent, or which die or become severely damaged or seriously diseased within five years from the completion of the development hereby permitted shall be replaced with trees, shrubs or hedge plants of similar size and species unless otherwise agreed in writing by the Local Planning Authority.

REASON: To ensure the continued well-being of the trees in the interests of the amenity and environmental quality of the locality.

19. Terrace Details

The development hereby approved shall not be occupied until details of the privacy screen for the terrace have been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details and shall thereafter be retained.

REASON: To safeguard the privacy of the occupiers of the neighbouring occupiers and to ensure that the development achieves a high standard of privacy and amenity in accordance with Policy DM1 of the Harrow Development Management Policies Local Plan (2013).

Informatives

1. **Planning Policies**

The following policies are relevant to this decision:

National Planning Policy Framework (2018) (NPPF)

London Plan (2016): 3.5, 3.14, 5.13, 6.3, 6.9, 6.13, 7.1, 7.2, 7.3, 7.4, 7.6, 7.8, 7.21

Draft London Plan (2017): D2, D4, D6, H1, H12, SI13, T4, T5, T6

Harrow Core Strategy (2012): CS1

Development Management Policies (2013): DM1, DM7, DM10, DM22, DM23, DM42, DM45

Supplementary Planning Document: Residential Design Guide (2010)

2. **Considerate Contractor Code of Practice**

The applicant's attention is drawn to the requirements in the attached Considerate Contractor Code of Practice, in the interests of minimising any adverse effects arising from building operations, and in particular the limitations on hours of working.

3. **The Party Wall etc. Act 1996**

The Party Wall etc. Act 1996 requires a building owner to notify and obtain formal agreement from adjoining owner(s) where the building owner intends to carry out building work which involves:

1. work on an existing wall shared with another property;
2. building on the boundary with a neighbouring property;
3. excavating near a neighbouring building,

and that work falls within the scope of the Act. Procedures under this Act are quite separate from the need for planning permission or building regulations approval.

"The Party Wall etc. Act 1996: Explanatory booklet" is available free of charge from: Communities and Local Government Publications, PO Box 236 Wetherby, LS23 7NB. Please quote Product code: 02 BR 00862 when ordering. Also available for download from the CLG website: <http://www.communities.gov.uk/documents/planningandbuilding/pdf/133214.pdf>

Tel: 0870 1226 236, Fax: 0870 1226 237, Textphone: 0870 1207 405, E-mail: Ucommunities@twoten.comU4T

4. **Sustainable Urban Drainage**

The applicant is advised that surface water run-off should be controlled as near to its source as possible through a sustainable drainage approach to surface water management (SUDS). SUDS are an approach to managing surface water run-off which seeks to mimic natural drainage systems and retain water on or near the site as opposed to traditional drainage approaches which involve piping water off site as quickly as possible. SUDS involve a range of techniques including soakaways, infiltration trenches, permeable pavements, grassed swales, ponds and wetlands. SUDS offer significant advantages over conventional piped drainage systems in reducing flood risk by attenuating the rate and quantity of surface water run-off from a site, promoting groundwater recharge, and improving

water quality and amenity. Where the intention is to use soak ways they should be shown to work through an appropriate assessment carried out under Building Research Establishment (BRE) Digest 365. Support for the SUDS approach to managing surface water run-off is set out in the National Planning Policy Framework (NPPF) and its accompanying technical guidance, as well as the London Plan. Specifically, the NPPF (2012) gives priority to the use of sustainable drainage systems in the management of residual flood risk and the technical guidance confirms that the use of such systems is a policy aim in all flood zones. Policy 5.13 of the London Plan (2012) requires development to utilise sustainable drainage systems unless there are practical reasons for not doing so. Sustainable drainage systems cover the whole range of sustainable approaches to surface drainage management. They are designed to control surface water run-off close to where it falls and mimic natural drainage as closely as possible. Therefore, almost any development should be able to include a sustainable drainage scheme based on these principles.

The applicant can contact Harrow Drainage Section for further information

5. Mayoral Community Infrastructure Levy (provisional)

Please be advised that approval of this application (either by Harrow Council, or subsequently by the Planning Inspectorate if allowed on appeal following a refusal by Harrow Council) will attract a Community Infrastructure Levy (CIL) liability, which is payable upon the commencement of development. This charge is levied under s.206 of the Planning Act 2008 Harrow Council, as CIL collecting authority, has responsibility for the collection of the Mayoral CIL

The Provisional Mayoral CIL liability for the application, based on the Mayoral CIL levy rate for Harrow of £60/sqm is £60,872. This amount includes indexation which is 323/323. The floorspace subject to CIL may also change as a result of more detailed measuring and taking into account any in-use floor space and relief grants (i.e. for example, social housing).

You are advised to visit the planningportal website where you can download the appropriate document templates. Please complete and return the Assumption of Liability Form 1 and CIL Additional Information Form 0.
https://ecab.planningportal.co.uk/uploads/1app/forms/form_1_assumption_of_liability.pdf https://ecab.planningportal.co.uk/uploads/1app/forms/cil_questions.pdf

If you have a Commencement Date please also complete CIL Form 6:

https://ecab.planningportal.co.uk/uploads/1app/forms/form_6_commencement_notice.pdf

The above forms should be emailed to HarrowCIL@Harrow.gov.uk Please note that the above forms must be completed and provided to the Council prior to the commencement of the development; failure to do this may result in surcharges and penalties

6. Harrow Community Infrastructure Levy (provisional)

Harrow has a Community Infrastructure Levy which applies Borough wide for certain developments of over 100sqm gross internal floor space.

Harrow's Charges are:

Residential (Use Class C3) - £110 per sqm;

Hotels (Use Class C1), Residential Institutions except Hospitals, (Use Class C2), Student Accommodation, Hostels and HMOs (Sui generis) - £55 per sqm;

Retail (Use Class A1), Financial & Professional Services (Use Class A2),

Restaurants and Cafes (Use Class A3) Drinking Establishments (Use Class A4)

Hot Food Takeaways (Use Class A5) - £100 per sqm

All other uses - Nil.

The Provisional Harrow CIL liability for the application, based on the Harrow CIL levy rate for Harrow of £110/sqm is £111,101

This amount includes indexation which is 323/224. The floorspace subject to CIL may also change as a result of more detailed measuring and taking into account any in-use floor space and relief grants (i.e. for example, social housing).

The CIL Liability is payable upon the commencement of development.

You are advised to visit the [planningportal](http://planningportal.gov.uk) website where you can download the relevant CIL Forms.

Please complete and return the Assumption of Liability Form 1 and CIL Additional Information Form 0 .

https://ecab.planningportal.co.uk/uploads/1app/forms/form_1_assumption_of_liability.pdf

https://ecab.planningportal.co.uk/uploads/1app/forms/cil_questions.pdf

If you have a Commencement Date please also complete CIL Form 6:

https://ecab.planningportal.co.uk/uploads/1app/forms/form_6_commencement_notice.pdf

The above forms should be emailed to HarrowCIL@Harrow.gov.uk

Please note that the above forms must be completed and provided to the Council prior to the commencement of the development; failure to do this may result in surcharges

9. Pre-application engagement

Statement under Article 35(2) of The Town and Country Planning (Development Management Procedure) (England) Order 2015. This decision has been reached in accordance with paragraphs 187-189 of The National Planning Policy Framework. Pre-application advice was sought and provided and the submitted application was in accordance with that advice.

10. Compliance with conditions

Compliance with Planning Conditions Requiring Submission and Approval of Details Before Development Commences

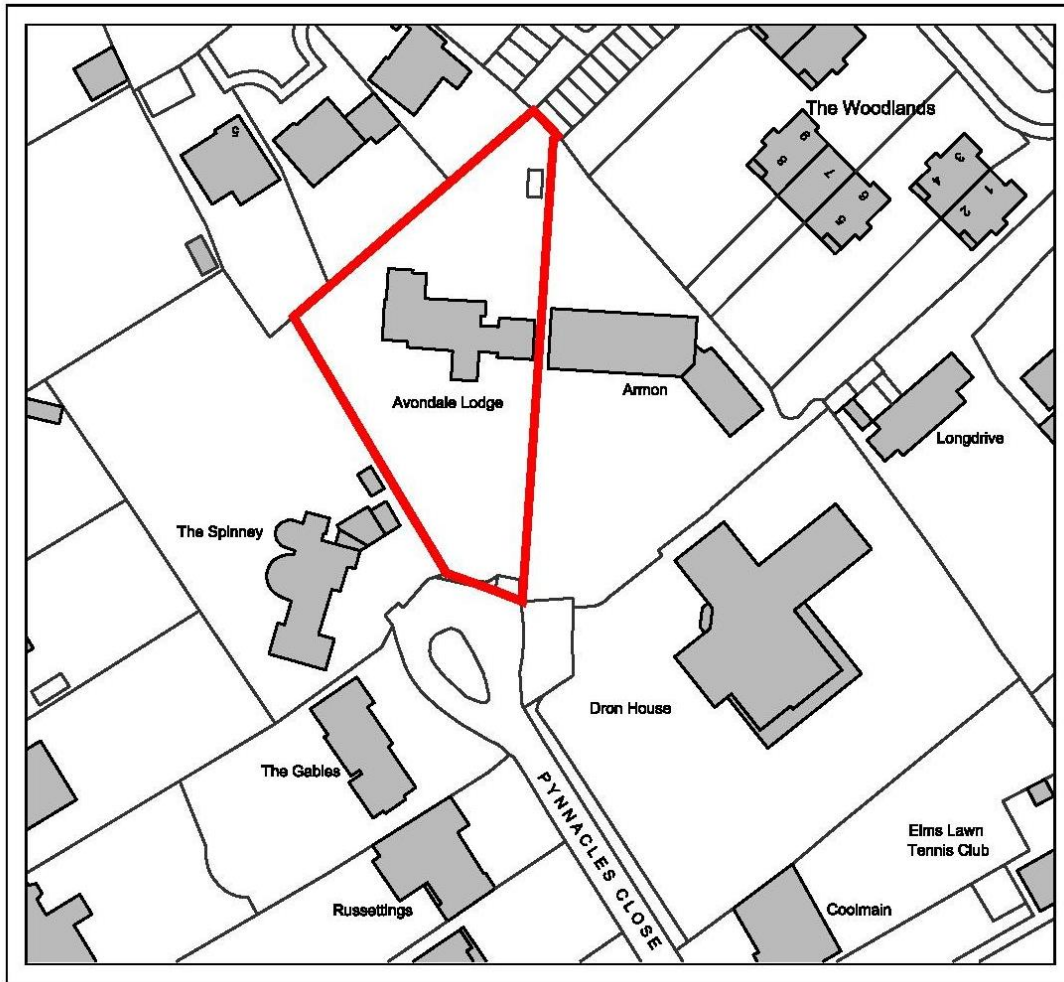
- You will be in breach of planning permission if you start development without complying with a condition requiring you to do something before you start. For example, that a scheme or details of the development must first be approved by the Local Planning Authority.

- Carrying out works in breach of such a condition will not satisfy the requirement to commence the development within the time permitted.
- Beginning development in breach of a planning condition will invalidate your planning permission.
- If you require confirmation as to whether the works you have carried out are acceptable, then you should apply to the Local Planning Authority for a certificate of lawfulness.

Highways Interference

11. The applicant is advised to ensure that the highway is not interfered with or obstructed at any time during the execution of any works on land adjacent to a highway. The applicant is liable for any damage caused to any footway, footpath, grass verge, vehicle crossing, carriageway or highway asset. Please report any damage to nrswa@harrow.gov.uk or telephone 020 8424 1884 where assistance with the repair of the damage is available, at the applicants expense. Failure to report any damage could result in a charge being levied against the property.

APPENDIX 2: SITE PLAN



APPENDIX 3: SITE PHOTOGRAPHS



Front elevation from adjoining highway



Existing dwellinghouse



Existing west facing flank wall



Existing rear elevation



Existing rear elevation

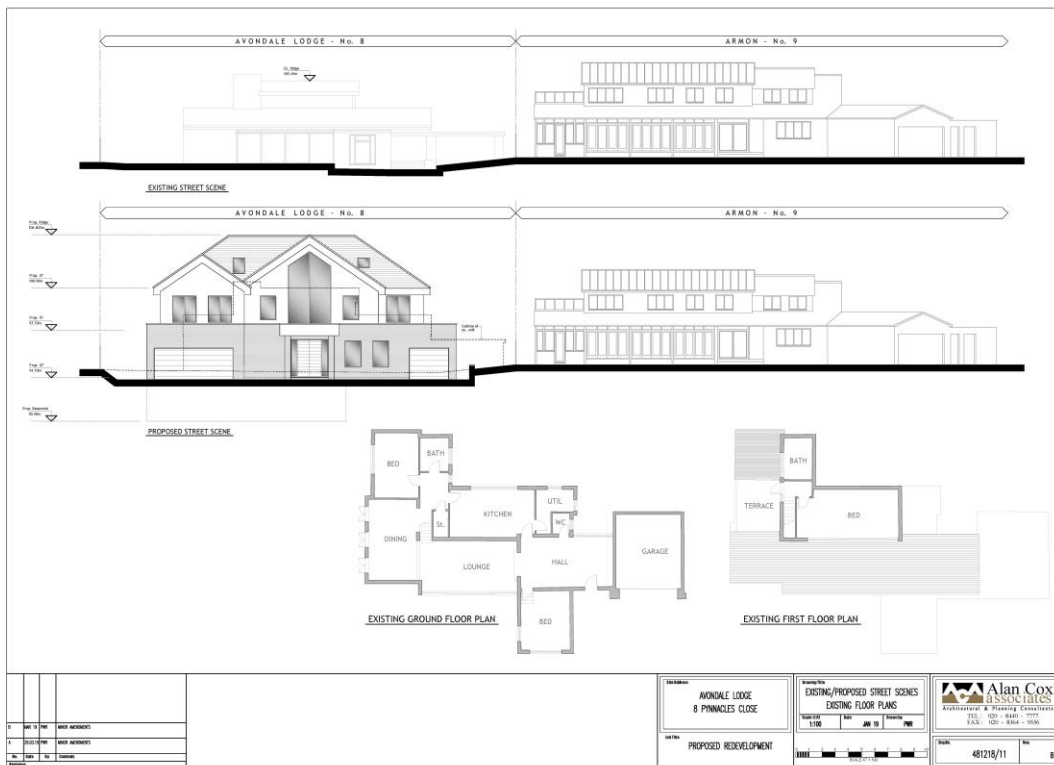


Rear garden

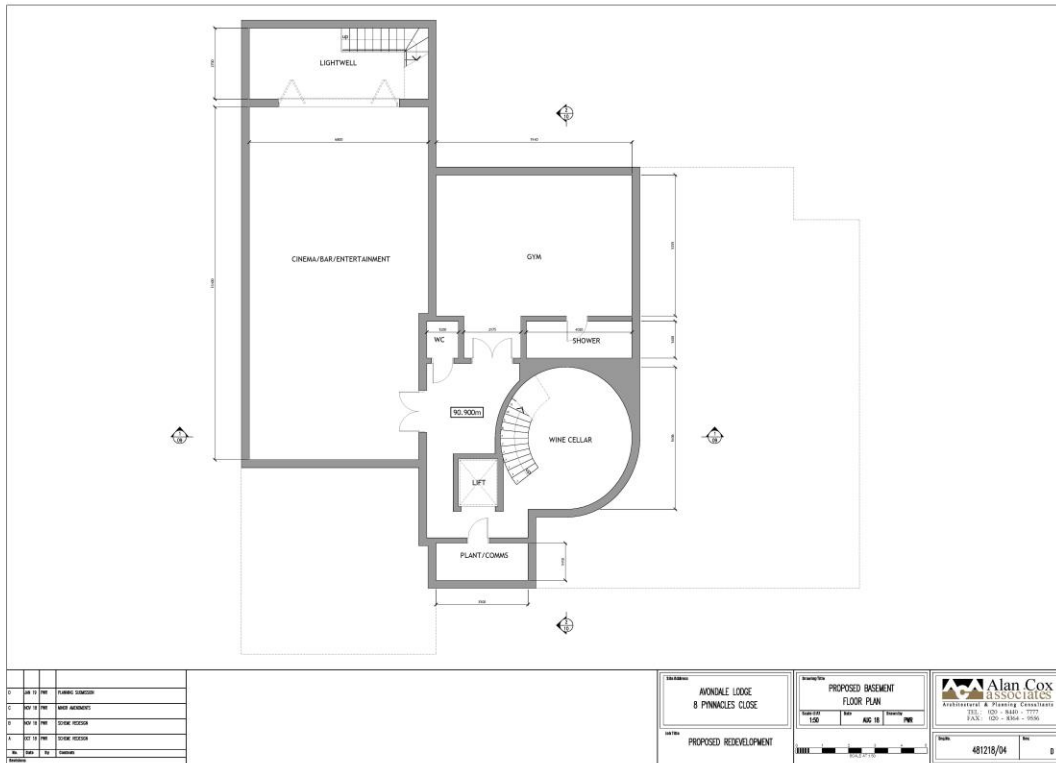
APPENDIX 4: PLANS AND ELEVATIONS



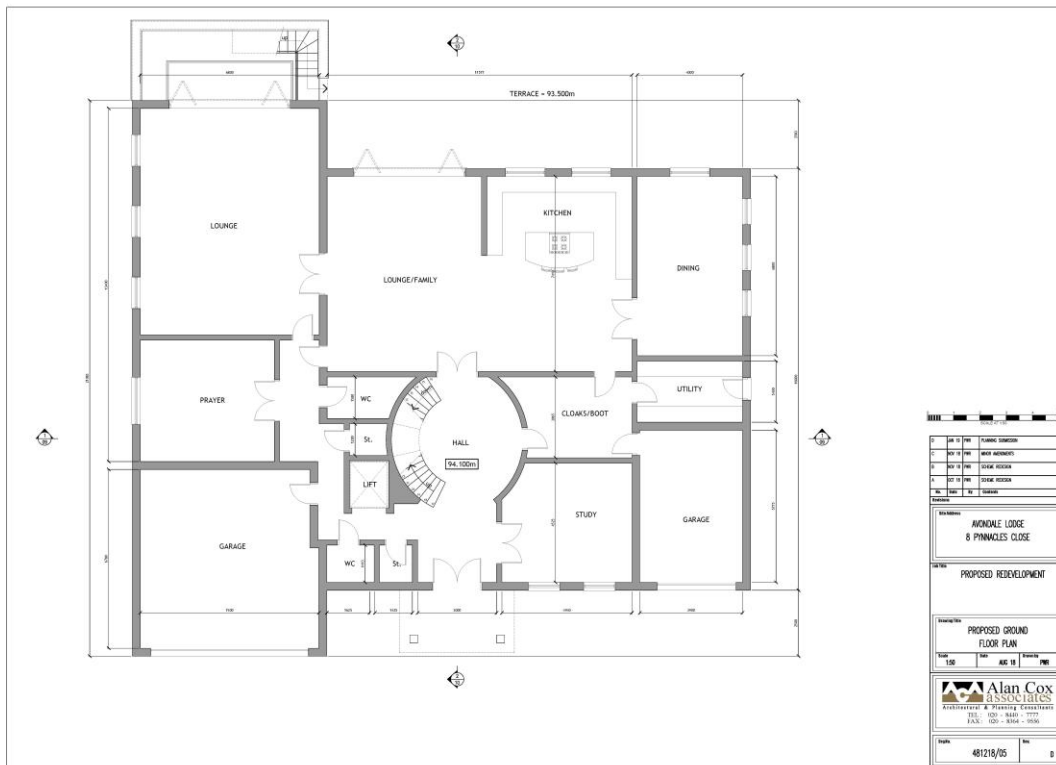
Existing and proposed site block plan



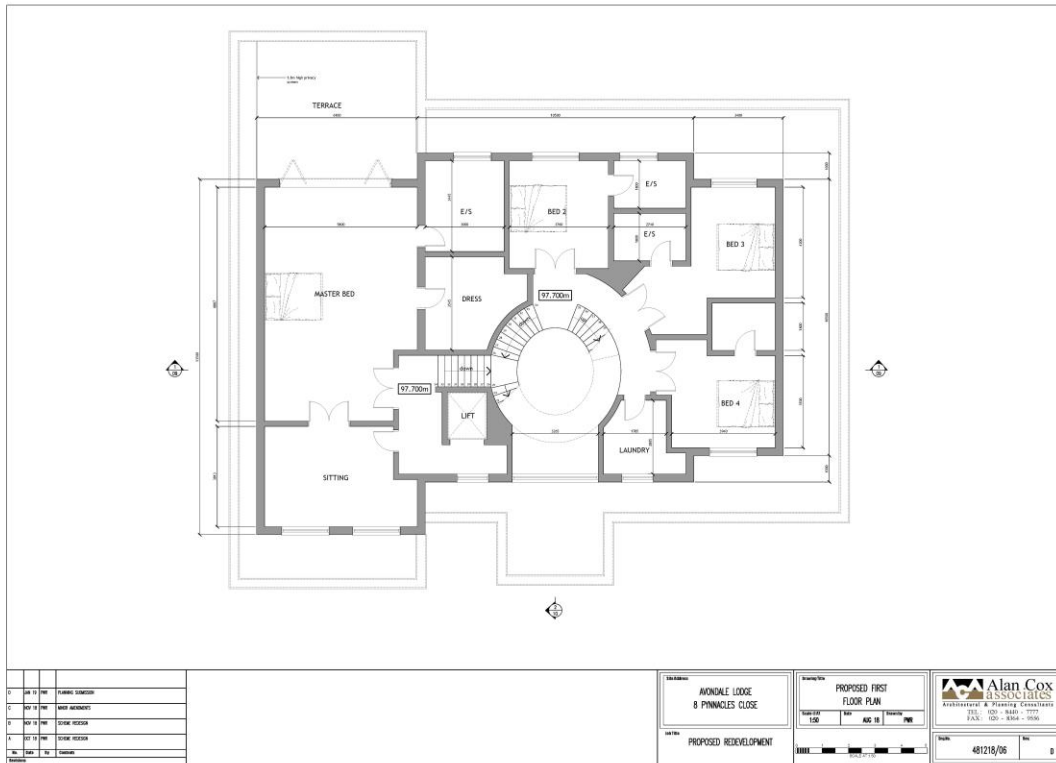
Existing/proposed front elevation and existing floorplans



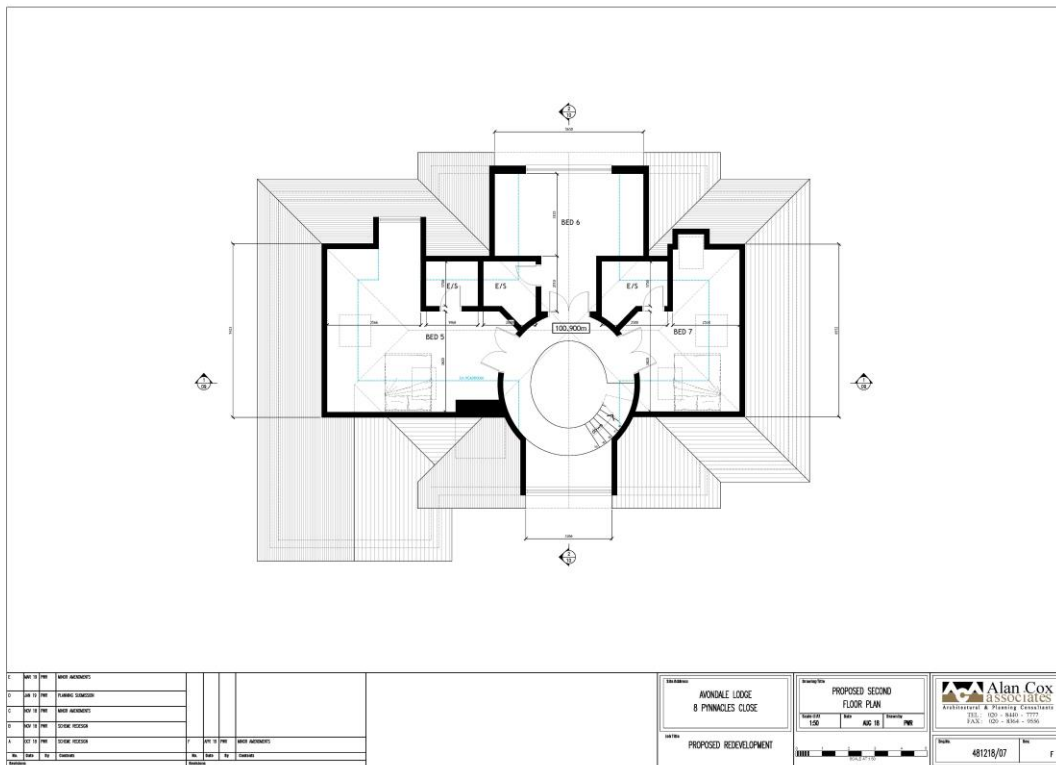
Proposed Basement Plan



Proposed Ground Floor Plan



Proposed First Floor Plan



Proposed Second Floor Plan



Proposed Elevations

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